

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission

For the Meeting of 5/28/2015

**FROM:** Julia Capasso, Associate Planner, via John Swiecki, Community Development Director

**SUBJECT:** **326 Humboldt Road;** Variance V-2-15 & Grading Permit EX-2-15 to allow construction of a new single-family home with a maximum height of 29 feet, 9 inches where 28 feet is the maximum height permitted and to allow associated site grading including export of 629 cubic yards of soil from the site; James Trotter, applicant; Luc Bouchard, owner; APN 007-301-150.

**REQUEST:** The applicant proposes construction of a 3,176 sq ft home on a vacant 4,616 sq ft lot at 326 Humboldt Road. The pie-shaped lot has a slope of 17%, calculated per BMC §17.02.730. The three-level home would include a two-car garage at the lower level with two levels of living space above. Two uncovered parking spaces would be provided in the driveway. The applicant's grading plan calls for 629 cubic yards (cy) of soil to be excavated and exported from the site to accommodate the proposed site development.

In order to move forward with the project as designed, the applicant requests approval of the following:

- A Variance to allow the new home a maximum height of 29 ft, 9 inches; and
- A Grading Permit to allow 629 cubic yards (cy) of soil export from the site.

The City Engineer has determined that the submitted grading plans are satisfactory for the Planning Commission's Grading Permit review.

**RECOMMENDATION:** Conditionally approve Variance V-2-15 & recommend that the City Engineer issue Grading Permit EX-2-15, via adoption of Resolution V-2-15/EX-2-15 with Exhibit A containing the conditions and findings of approval.

**ENVIRONMENTAL DETERMINATION:** Construction of new single-family homes is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(a) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** The height limit for structures in the R-1 zoning district on lots with less than 20% slope is 28 feet, per BMC §17.06.040. Building height is defined in BMC §17.02.400 and the findings required to grant a Variance to the height limit are contained

in BMC §17.46.10. Grading permit review by the Planning Commission is required for projects involving more than 250 cy of site grading or 50 cy of soil export by BMC §15.01.081.A and BMC §17.32.220.

#### **ANALYSIS AND FINDINGS:**

**Height Variance:** Per BMC §17.02.730, the slope of a lot is the ratio, calculated as a percentage, of the vertical distance between the midpoints of the front and rear lot lines to the horizontal distance between those midpoints. For a lot having no rear lot line, like the subject property, the intersection of the side lot lines is used as the midpoint of the rear lot line. For the subject property, this calculation results in a lot slope of 17% and a maximum building height for the property of 28 feet, per BMC §17.06.040.

As designed, the northwest segment of the new home containing two levels of living space and a portion of the lower level workshop would measure 29 feet, 9 inches in height. All other segments of the building, including those facing upslope neighbors to the rear (west) on Trinity Road and side (south) on Humboldt Road, would comply with the 28 foot height limit.

In order to grant the requested variance to the building height limit, the Planning Commission must find that, because of special circumstances applicable to the property, such as its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance would deprive the property of privileges enjoyed by other properties in the vicinity and same zoning district. Approval of a variance must also be subject to such conditions as necessary to ensure that the variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and same zoning district. The application **would meet** these findings.

- **Special Circumstances Applicable to Subject Property:**

The subject property is pie-shaped, having no rear lot line, with a northeasterly cross slope that drops abruptly at the lot's Humboldt Road frontage. At the lot's steepest area at the northeast corner, the natural grade rises 10 feet vertically over the first 15 horizontal feet of the lot (a 67% slope). Due to these unique topographic features and the lot's substandard size, the required front and side yard setbacks result in a restrictive development envelope and make it challenging for new structures to meet the 28 foot height limit while complying with the allowable floor area and lot coverage maximums.

- **Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property:**

Without approval of the requested variance to the building height limit, the subject property would be deprived of the ability to be developed with a home of similar height to those in the surrounding neighborhood and in compliance with other development standards of the R-1 zoning district, including floor area and lot coverage. The proposed home would be of similar height to homes in the vicinity on the upslope side of Humboldt Road and Trinity Road, including 300 Humboldt Road and 14 Trinity Road which are both 30 feet in height or taller.

- Conditions Necessary to Prevent a Grant of Special Privilege:

The applicant has incorporated a bay window into the north elevation to provide articulation of the wall plane where none is required by the Municipal Code. To prevent a grant of special privilege Staff has included a condition of approval to retain this element in the building permit plans to break up the massing of this elevation.

**Grading Permit review:** In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval. The application **would meet** these findings.

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

The applicant proposes 629 cy of soil excavation and export from the site. As indicated by the applicant's grading plan and sections, the proposed excavation is limited to the footprint of the home and driveway area, and is the minimum necessary to accommodate the new structure and required on-site parking within the surrounding natural topography. Though the proposed curb cut would exceed 18 feet in width, the driveway would be located in the southeast portion of the property where the difference in elevation between the natural grade of the lot and the street level is less pronounced, thereby minimizing the excavation required to provide site access and required on-site parking. No on-street parking exists at this location currently and none is called for in the City's street improvement plans. In this case, the City Engineer may approve a curb cut in excess of the 18 ft maximum allowed per BMC §12.24.015 and has reviewed and accepted the applicant's grading plan and driveway width.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

Due to the volume of excavation required to gain access to the site from the roadway, the proposed grading would result in exposed retaining walls at the south side of the driveway (12 ft, 8 inches) and entry stairway in the front setback (12 ft, 3 inches). Per BMC §17.32.050, retaining walls in any setback may exceed 6 feet in height provided that they are sufficiently screened by vegetation such that only 6 feet of the wall is visible. Staff has included this requirement as a condition of approval.

- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.

The project plans do not call for removal of any trees meeting the criteria in this finding. The site plan does call for removal of an 8 inch diameter (less than 30 in circumference) tree within the

front yard setback; however, staff notes that this tree has already been removed. A permit was not required for the tree's removal due to its size.

**ATTACHMENTS:**

Summary of Project Data

Draft Resolution V-2-15/EX-2-15 with recommended Findings and Conditions of Approval

Aerial site map

Applicant's plans (annotated by staff)

Applicant's supporting statements

**Summary of Project Data  
326 Humboldt Road**

ADDRESS	326 Humboldt Road			
APN	007-301-150			
ZONING DISTRICT	R-1			
APPLICATION #	V-2-15/EX-2-15			
<b>Project Description</b> Variance and grading permit for new single-family home on vacant lot exceeding 28 foot height limit and requiring 629 cy of site grading (all export; fills negligible).				
Development Standard	Existing	Proposed	Development Standard	Status
Lot Area	4,616 SF	-	5,000 SF	Lot of record
Lot Slope	17%	n/c	-	Staff calc. based on topo plan submitted by applicant
Lot Coverage	-	28% or 1,270 SF	40% or 1,846 SF	Complies with standard
Setbacks				
West Side Lot Line	-	5 ft, 8 in	5 ft	Complies with standard
East Side Lot Line	-	5 ft	5 ft	Complies with standard
Front Lot Line	-	15 ft, 5 in	6 ft (FYSB block average)	Complies with standard
Floor Area	-	0.69 FAR or 3,176 SF	0.72 FAR or 3,323.5 SF	Complies with standard
Height	-	29 ft, 9 in.	28 ft	Does not comply with standard
Within 15 ft of front lot line	-	-	20 ft	N/a (no structures w/in 15 ft of front lot line)
Retaining wall		12 ft, 3 in	6 ft	Director may approve with screening plantings; required at building permit
Parking	-	2 garage, 2 on-site	2 covered, on-site; 2 on or off-site	Complies with standard
Landscaping- front yard setback	-	61% or 369 SF	15% of front yard setback area or appx. 91 SF	Complies with standard (detailed landscaping plan required at building permit)

Draft  
RESOLUTION V-2-15/EX-2-15

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING VARIANCE V-2-15 & GRADING PERMIT EX-2-15  
FOR A NEW SINGLE-FAMILY HOME EXCEEDING THE 28 FOOT HEIGHT LIMIT  
AT 326 HUMBOLDT ROAD

WHEREAS, James Trotter applied to the City of Brisbane for Variance and Grading Permit approval to construct a single-family dwelling with a maximum height of 29 feet, 9 inches and 629 cubic yards of excavation and soil export from the site at 326 Humboldt Road, such application being identified as V-2-15/EX-2-15; and

WHEREAS, on May 28, 2015, the Planning Commission conducted a hearing of the application, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Variance and Grading Permit;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of May 28, 2015 did resolve as follows:

Variance V-2-15 is approved per the findings and conditions of approval attached herein as Exhibit A.

City Engineer issuance of Grading Permit EX-2-15 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 28th day of May, 2015, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
TuongVan Do  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director

**DRAFT  
EXHIBIT A**

**Action Taken:** Conditionally approved Variance V-2-15 and recommended City Engineer issuance of Grading Permit EX-2-15, per the staff memorandum with attachments, via adoption of Resolution V-2-15/EX-2-15.

**Findings:**

**Variance V-2-15**

1. The variance shall be subject to the conditions included herein to assure that the adjustment authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and within the R-1 zoning district in which the subject property is located.
2. Because of special circumstances applicable to subject property, specifically the unusual pie-shape and northeast cross slope of the lot, the strict application of this title is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely the ability to be developed with a home of similar height to those in the surrounding neighborhood and in compliance with other development standards of the R-1 zoning district, including floor area, lot coverage, and on-site parking.

**Grading Permit EX-2-15**

- As indicated by the applicant's grading plan and sections, the proposed excavation is limited to the footprint of the home and driveway area, and is the minimum necessary to accommodate the new structure within the surrounding natural topography. The applicant has located the proposed driveway in the southeast portion of the property where the difference in elevation between the natural grade of the lot and the street level is less pronounced, thereby minimizing the excavation required to provide site access and on-site parking.
- As a result of the volume of excavation required to gain access to the site from the roadway, the proposed grading will result in two exposed retaining walls over 12 feet in height, located at the driveway and entry stairway within the front yard setback. The conditions of approval require installation of plantings to screen these retaining walls.
- Per the submitted project plans, the proposed grading will not result in the removal of existing street trees, any California Bay, Laurel, Coast Live Oak or California Buckeye trees, or three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

## DRAFT

### Conditions of Approval:

#### Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit and a grading permit prior to proceeding with construction. Plans submitted for the building and grading permits shall substantially conform to plans on file in the City of Brisbane Planning Department dated received May 11, 2015, with the following modification:
  1. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping of sufficient size at maturity to provide screening of the exposed retaining walls in the front yard setback, so that no more than six (6) feet of the height of the retaining wall will remain visible.
  2. Plans submitted for grading permit review shall be subject to standard review requirements and procedures by the Department of Public Works.
- B. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way. The City Engineer shall waive the maximum curb cut specified in Brisbane Municipal Code §12.24.015.
- C. Prior to issuance of a building permit, the property owner shall enter into standard landscape maintenance agreements with the City.
- D. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

#### Other Conditions

- E. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.
- F. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- G. Removal of protected trees or other trees for which a permit is required under BMC §12.12.050 is not authorized under this application.
- H. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- I. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings,



acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.

- J. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- K. The Variance permit approval shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.

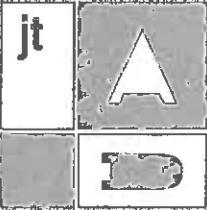
## 326 Humboldt Road





# BOUCHARD RESIDENCE

326 HUMBOLDT ROAD, BRISBANE, CA 94005



1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES, THE CALIFORNIA GREEN BUILDING STANDARDS CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA ENERGY CODE.



CONTRACT

No.	Description	Date
1	GRADING PERMIT SUBMIT	04/22/15
2	GRADING PERMIT REV#1	04/25/15
3	GRADING PERMIT REV#2	05/11/15
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PROJECT  
**BOUCHARD RESIDENCE**  
(New Construction)  
326 Humboldt Road  
Brisbane, CA 94005

DRAWING  
**COVER SHEET**

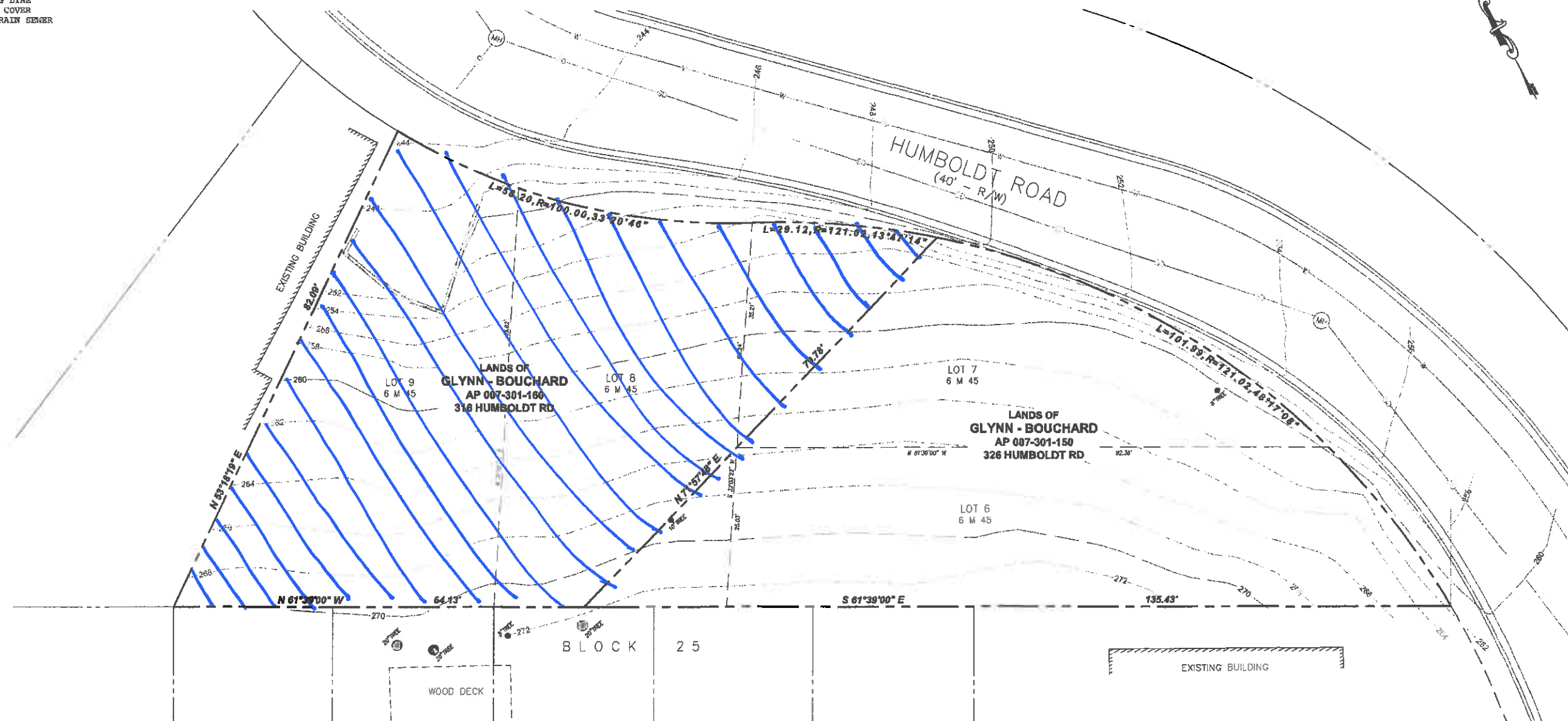
NO: 2013.12  
DESIGN BY: JTT  
SCALE: AS NOTED  
DATE: 04-22-15  
**A0.0**

GENERAL NOTES	CALGREEN (BIG Checklist)	CITY ORDINANCE LETTERS (not used)	PROJECT DIRECTORY	DRAWING LIST								
<p>6.1 WORK SHALL COMPLY WITH ALL REGULATORY CODES &amp; STATUTES. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISCOVER ALL SUCH REGULATORY AUTHORITIES HAVING JURISDICTION OVER THE BUILDING SITE AND ALL ORDINANCES APPLICABLE.</p> <p>6.2 GENERAL CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL.</p> <p>6.3 ALL DIMENSIONS ARE SHOWN TO FACE OF FINISH, U.O.M. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY IN FIELD (V.I.F.).</p> <p>6.4 THE PROJECT DATUM FOR VERTICAL ELEVATIONS IS FINISHED SURFACE OF INSTALLED FLOORING. PROJECT DATUM FOR VERT. EXTERIOR ELEVATIONS TOP OF EXISTING (E) FIRST FLOOR FINISH.</p> <p>6.5 ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONSTRUCTION DOCUMENTS (DRAWINGS), THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.</p> <p>6.6 ALL WORK NOTED "BY OTHERS" OR "N/C" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE PROJECT DELIVERY SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.</p> <p>6.7 CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL BUILDING COMPONENTS AND UTILITIES DETERMINED IN THE COURSE OF CONSTRUCTION AS BEING NECESSARY TO BE MOVED WHICH HAVE NOT BEEN LOCATED AS SHOWN ON THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL MOVE SUCH COMPONENTS OR UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT AND OWNER. HAZARDOUS PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED IN THE FIELD.</p> <p>6.8 ALL QUESTIONS REGARDING SOURCES FOR FINISH MATERIALS ARE TO BE DIRECTED TO THE ARCHITECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE AVAILABILITY AND DELIVERY DATES OF ALL FINISH MATERIALS. NO SUBSTITUTIONS OF FINISH MATERIALS WILL BE MADE WITHIN SIX WEEKS OF THE SCHEDULED COMPLETION DATE, UNLESS AUTHORIZED BY THE ARCHITECT. ALL FINISH MATERIALS WILL BE ON SITE FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. ANY PROBLEMS REGARDING AVAILABILITY OF FINISH MATERIALS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.</p> <p>6.9 ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE, AND BUILDING CODES.</p> <p>6.10 PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS, SUBMIT SAMPLES TO ARCHITECT FOR REVIEW WHEN SPECIFIED, WHEN REQUESTED BY ARCHITECT, ALLOW TIME FOR TEST APPLICATION OF FINISH BEFORE BEGINNING INSTALLATION.</p> <p>6.11 INSURE THAT SURFACES THAT ARE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF CONDITIONS.</p> <p>6.12 HEATING, VENTILATING &amp; AIR CONDITIONING SYSTEM DESIGN SHALL BE BY THE INSTALLING SUBCONTRACTOR. SUCH DESIGN AND INSTALLATION SHALL BE EXECUTED TO NO LESS THAN THE MINIMUM PERFORMANCE AND STANDARD OF CONSTRUCTION REQUIRED BY APPLICABLE CODES. DESIGN AND COORDINATION WITH BUILDING STRUCTURE WILL BE REVIEWED BY THE ARCHITECT. INSTALLATION SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.</p> <p>6.13 PLUMBING SYSTEM DESIGN SHALL BE BY THE INSTALLING SUBCONTRACTOR. SUCH DESIGN AND INSTALLATION SHALL BE EXECUTED TO NO LESS THAN THE MINIMUM PERFORMANCE AND STANDARD OF CONSTRUCTION REQUIRED BY APPLICABLE CODES. DESIGN AND COORDINATION WITH BUILDING STRUCTURE WILL BE REVIEWED BY THE ARCHITECT. INSTALLATION SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.</p> <p>6.14 ELECTRICAL SYSTEM DESIGN SHALL BE BY THE INSTALLING SUBCONTRACTOR. SUCH DESIGN AND INSTALLATION SHALL BE EXECUTED TO NO LESS THAN THE MINIMUM PERFORMANCE AND STANDARD OF CONSTRUCTION REQUIRED BY APPLICABLE CODES. DESIGN AND COORDINATION WITH BUILDING STRUCTURE WILL BE REVIEWED BY THE ARCHITECT. INSTALLATION SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.</p> <p>6.15 BEFORE SUBMITTING FOR FINAL PAYMENT WITH THE OWNER, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A JOB COPY OF THE WORKING DRAWINGS SHOWING AS-BUILT CONDITIONS. FINAL PAYMENT NOT TO BE SUBMITTED UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT AND THE FINAL PUNCHLIST IS COMPLETED.</p>	<p>C.1 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (SECT. 4.504.2.2).</p> <p>C.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (SECT. 4.504.2.2).</p> <p>C.3 AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED PMR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED (SECT. 4.504.2.3).</p> <p>C.4 CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (SECT. 4.504.3).</p> <p>C.5 MINIMUM RISE OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH SECT. 4.504.4.</p> <p>C.6 PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (SECT. 4.504.5).</p> <p>C.7 INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (SECT. 4.505.2).</p> <p>C.8 CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOORING BEFORE ENCLOSURE (SECT. 4.505.3).</p> <p>C.9 AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (SECT. 4.506.1).</p> <p>C.10 PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALL AGAINST PASSAGE OF RODENTS (SECT. 4.600.1).</p> <p>C.11 COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (SECT. 4.600.1).</p> <p>C.12 DUCT SYSTEMS TO BE SIZED, DESIGNED WITH EQUIPMENT SELECTED PER SECT. 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED, AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.</p> <p>C.13 REDUCE INDOOR WATER USE BY USING WATER SAVING FIXTURES AS NOTED BELOW (CITY OF HILLSBORO ONLY):</p> <table><tr><td>SHOWER HEAD</td><td>1.5 GPM @60 PSI</td></tr><tr><td>LAV FAUCETS</td><td>0.5 GPM @60 PSI</td></tr><tr><td>KITCHEN FAUCETS</td><td>1.0 GPM @60 PSI</td></tr><tr><td>WATER CLOSET</td><td>1.20 GAL PER FLUSH</td></tr></table> <p>C.14 DEFERRED SUBMITTAL PROVIDE BUILDING OCCUPANT OR OWNER A COPY OF OPERATION AND MAINTENANCE MANUALS.</p> <p>C.15 CONTRACTOR TO SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN AND DIVERT A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE (SECT. 4.605.1). THE FOLLOWING INFORMATION SHALL BE PROVIDED ON THE PLAN:</p> <p>A. IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.</p> <p>B. SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY. IDENTIFY DIVERSION FACILITY. SPECIFY THAT THE AMOUNT OF MATERIAL DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME.</p> <p>C. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.</p> <p>D. PROVIDE DOCUMENTATION SHOWING COMPLIANCE WITH THE ABOVE TO CITY BUILDING AND/OR PLANNING DEPARTMENT.</p>	SHOWER HEAD	1.5 GPM @60 PSI	LAV FAUCETS	0.5 GPM @60 PSI	KITCHEN FAUCETS	1.0 GPM @60 PSI	WATER CLOSET	1.20 GAL PER FLUSH		<p><b>OWNER</b> LUC BOUGHARD 242 MONTEREY STREET BRISBANE, CA 94005</p> <p>CONTACT: LUC BOUGHARD C: 415-615-4820 E-MAIL: LUC.BOUGHARD@GMAIL.COM</p> <p><b>ARCHITECT</b> J. ARCHITECTURE+DESIGN 1846 MISSION STREET, SUITE 2 SAN FRANCISCO, CA 94103</p> <p>CONTACT: JIM TROTTER, PRINCIPAL P: 415-784-1965 F: 415-784-1966 E-MAIL: JT.TROTTER@JAD.NET</p> <p><b>GENERAL CONTRACTOR</b> MGO CONSTRUCTION SERVICES, INC. 1846 MISSION STREET, STUDIO 2 SAN FRANCISCO, CA 94103</p> <p>CONTACT: MIKE GLYNN C: 415-946-7350 E-MAIL: MGOCONSTRUCTIONSERVICES@GMAIL.COM</p>	<p><b>ARCHITECTURAL</b></p> <p>A0.0 COVER SHEET, PLOT PLAN (KEY PLAN), CROSS-SECTIONS &amp; PROJECT DATA</p> <p>T5.1 TOPOGRAPHY MAP, EXISTING CONDITIONS (1/8"=1'-0")</p> <p>A1.0 SITE PLAN W/GRADING &amp; DRAINAGE (1/8"=1'-0")</p> <p>A1.1 FLOOR PLANS, FIRST &amp; SECOND FLOORS (1/4"=1'-0")</p> <p>A1.2 FLOOR PLANS, GARAGE LEVEL &amp; ROOF PLAN (1/4"=1'-0")</p> <p>A1.3 CROSS-SECTIONS (1/4"=1'-0")</p> <p>A3.1 EXTERIOR ELEVATIONS, FRONT/NORTH &amp; SIDE/EAST (1/4"=1'-0")</p> <p>A3.2 EXTERIOR ELEVATIONS, REAR/SOUTH &amp; SIDE/WEST (1/4"=1'-0")</p>
SHOWER HEAD	1.5 GPM @60 PSI											
LAV FAUCETS	0.5 GPM @60 PSI											
KITCHEN FAUCETS	1.0 GPM @60 PSI											
WATER CLOSET	1.20 GAL PER FLUSH											
			<p><b>PLOT PLAN (KEY PLAN)</b></p> <p>EXISTING BUILDING</p> <p>COASTAL BUCKWHEAT, CALIFORNIA PHACELIA AND GOLDEN ASTER FROM SAN BRUNO MOUNTAIN OR BAY AREA STOCK SHALL BE PLANTED</p> <p>10' TREE (E) TO BE PLANTED</p> <p>10' TREE (E) TO BE REMOVED</p> <p>326 HUMBOLDT RD</p> <p>HUMBOLDT ROAD</p> <p>REQUIRED SETBACKS</p> <p>THE EROSION CONTROL HYDROSEED MIX FOR THE SITE AND THE STREET FRONTAGE SHALL CONSIST OF BLUE WILD RYE (ELLYNAS GLAUCUS), PURPLE NEEDLE GRASS (NASSELLA PULCHRA), IDAHO OR RED FESCUE (FESTUCA IDAHOENSIS, or F. RUDEA) AND CALIFORNIA BROOME (BROMUS CARINATUS), USING SEED STOCK FROM THE SAN FRANCISCO BAY AREA</p> <p>PROJECT NORTH</p> <p><b>KEY PLAN</b> SCALE: 1/16"=1'-0"</p>									
		<p>RECEIVED MAY 11 2015 Comm. Dev. Dept. Erisbane</p>	<p><b>SYMBOLS (Reference Symbols)</b></p> <p><b>ELEVATION REFERENCE</b></p> <p>1. ELEVATION NUMBER</p> <p>2. SHEET NUMBER</p> <p><b>DRAWING REFERENCE</b></p> <p>20. DETAIL NUMBER</p> <p>A2.1. SHEET NUMBER</p> <p><b>WALL TYPE REFERENCE</b></p> <p>A. SEE FLOOR PLANS</p> <p><b>DOOR/WINDOW DESIGNATIONS</b></p> <p>101. DOOR TAG (FLOOR/DOORS)</p> <p>101. WINDOW TAG (FLOOR/WINDOWS) or WINDOW GROUPING</p> <p><b>FINISH NOTE</b></p> <p>1. SEE INT. &amp; EXT. ELEV. SHEETS</p> <p><b>EQUIPMENT NOTE &amp; TAG</b></p> <p>101. SEE EQUIP. SCHED./ENLARGED PLANS</p> <p><b>SHEET NOTE/KEY NOTES</b></p> <p>101. PER SHEET/PLAN (BASIC OR C&amp;I)</p> <p><b>REVISION SYMBOL</b></p> <p>1. CLOUD AROUND REVISION W/ IDENTIFYING NUMBER</p> <p><b>MATCH LINE</b></p> <p>SHADED PORTION INDICATES THE SIDE SHOWN</p> <p><b>SURFACES TO ALIGN</b></p> <p>WORK POINT, CONTROL POINT, OR DATUM POINT</p> <p><b>COLUMN GRID LINE</b></p> <p>2. COLUMN GRID LINE</p> <p><b>SECTION DETAIL</b></p> <p>1. DETAIL NUMBER</p> <p>2. SHEET NUMBER</p> <p><b>PLAN OR SECTION DETAIL</b></p> <p>1. DETAIL NUMBER</p> <p>2. SHEET NUMBER</p> <p>AREA TO BE DETAILED</p>	<p><b>VICINITY MAP</b></p>	<p><b>CODE SUMMARY &amp; TABULATION</b></p> <p>LOT AREA: 4,616 sq ft PARCEL NUMBER (APN): 007-301-50 FLOOR AREA (FAR): PROPOSED, 3,322 sq ft (0.72); GARAGE INCLUDED (553 sq ft); FAR ALLOWED: 0.72 COVERAGE: PROPOSED, 1.29% of (27.9%) BUILDING TIES: V-S OCCUPANCY GROUP: R3U ZONING GROUP: R-1 SETBACKS: 5'-0" FRONTAGE (CLOSEST), 5'-0" SIDE (CLOSEST), REAR (N/A; VARIES) GRADING CUT, 25% on yds (WORKSHOP) + 24% on yds (GARAGE) + 124 on yds (DRIVEWAY) = 62% on yds FILL, no fill/grade</p> <p><b>TRUMPET GOVERNING CODES:</b> 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2013 CALIFORNIA FIRE CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA ELECTRICAL CODE &amp; 2013 CA. ENERGY CODE</p>							
				<p><b>PROJECT DESCRIPTION</b></p> <p>NEN SINGLE FAMILY RESIDENCE WITHIN ALLOWED SETBACKS OF PIE SHAPED PARCEL WITH FRONT SETBACK ORIENTED NORTHEAST. RESIDENCE PROPOSED TO BE CONSTRUCTED SIMULTANEOUSLY WITH THE SPR PROPOSED AT 316 HUMBOLDT ROAD ADJACENT TO THIS PROPERTY. NO VARIANCES ARE BEING PROPOSED.</p>								

G.I.11

**LEGEND**

--- SUBJECT PROPERTY LINE  
 --- ADJOINER PROPERTY LINE  
 --- BUILDING LINE  
 MH MANHOLE COVER  
 SD STORM DRAIN SEWER  
 W WATER



**UTILITY NOTE**

UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL, AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**BASIS OF BEARINGS**

THIS BASIS OF BEARINGS FOR THIS SURVEY IS N19°14'29"E BETWEEN FOUND STANDARD WELL MONUMENTS PER 13 L.L.S 49, FILED IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.

**GENERAL NOTES**

- 1) REFERENCED MAPS PER COUNTY RECORDER.
- 2) ALL ANGLES ARE 90°00' UNLESS NOTED OTHERWISE.
- 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
- 4) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

ORIGINAL SCALE: 1" = 8'

MUN K. LEE, RCE #25981  
 EXPIRES 12-31-2013

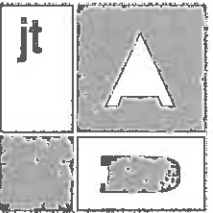


**Topographic Map**

LANDS GLYNN - BOUCHARD  
 SAN MATEO COUNTY RECORDS  
 CITY OF BRISBANE, SAN MATEO COUNTY, CALIFORNIA  
 SCALE: 1/8" = 100' OCTOBER, 2013  
**LEE ENGINEERS, INC.**  
 1211 PARK AVENUE, SUITE 112  
 SAN JOSE, CA 95126 TEL/FAX 408-293 3633  
 leeengineers@sjcglobal.net

G.1.12





Architectural description and project information.



CONTRACT NO.

NO.	DESCRIPTION	DATE
1	GRADING PERMIT SUBMIT	04/22/15
2	GRADING PERMIT REV#1	04/28/15
3	GRADING PERMIT REV#2	05/11/15
4		
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19		
20		

PROJECT

BOUCHARD RESIDENCE  
(New Construction)  
325 Humboldt Road  
Brisbane, CA 94005

DRAWN

SITE PLAN  
w/GRADING & DRAINAGE

NO.	2013.12
DESIGN BY	JMT
SCALE	1/8"=1'-0"
DATE	04-24-15

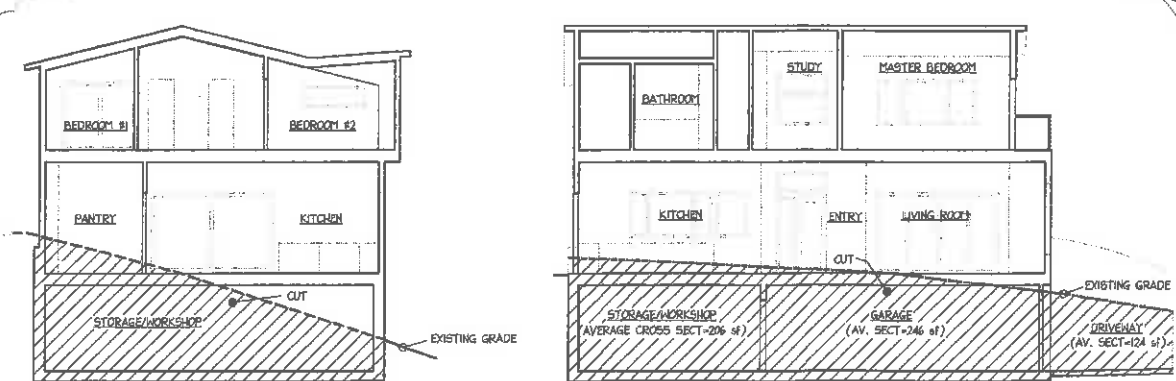
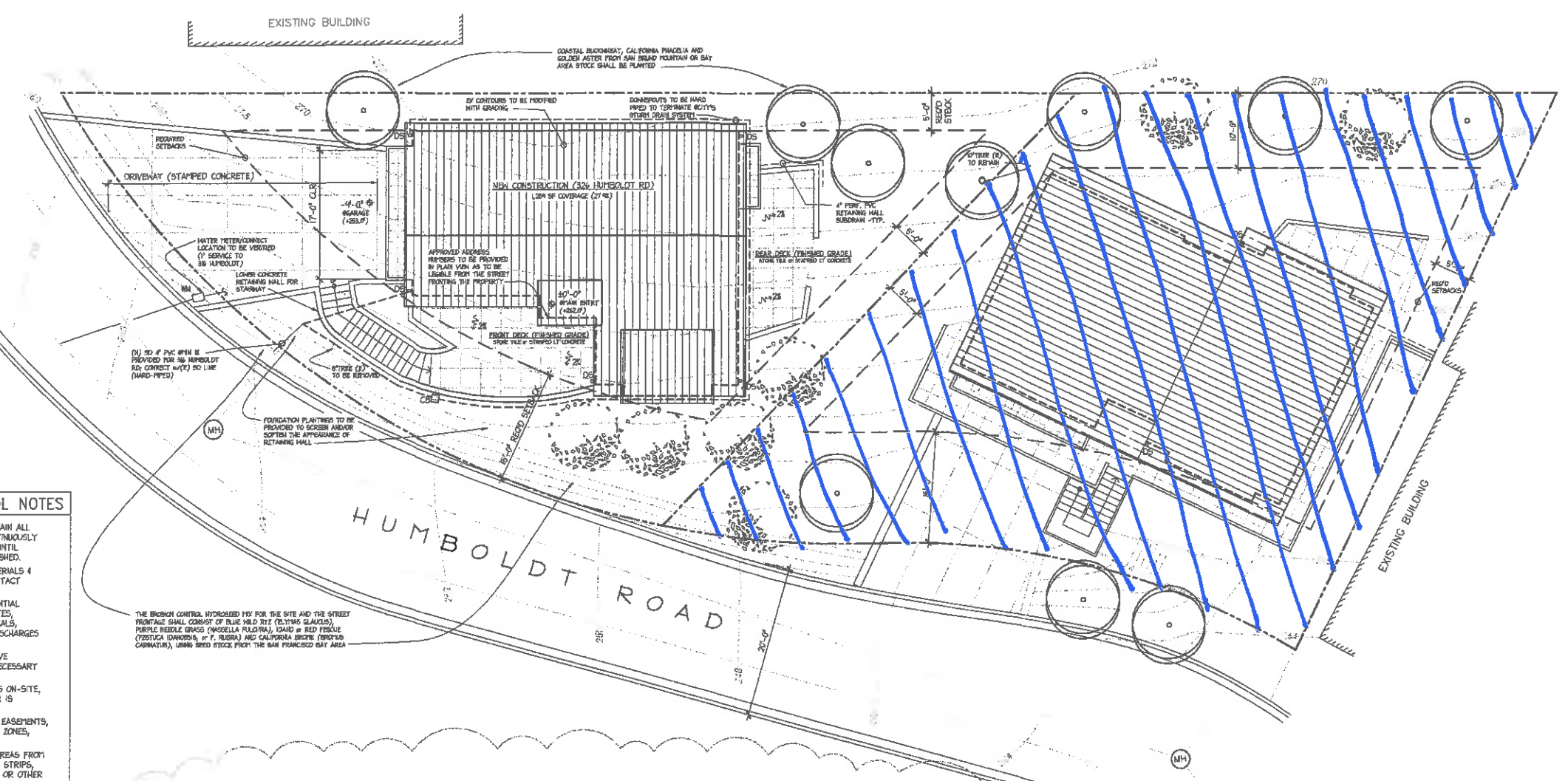
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### GRADING & EROSION CONTROL NOTES

- STABILIZE ALL DENuded AREAS & INSTALL & MAINTAIN ALL TEMPORARY EROSION & SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCT. 15TH & APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE & DISPOSE OF CONSTRUCTION MATERIALS & WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL & PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENTS CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS & NON-STORMWATER DISCHARGES TO STORM DRAINS & WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEMATERING SITE & OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED & TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES & DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES & UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING & EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- LIMIT & TIME APPLICATIONS OF PESTICIDES & FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES & STABILIZE DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS & SIDEWALKS USING DRY SWEEPING METHODS.
- THE CONTRACTOR SHALL TRAIN & PROVIDE INSTRUCTION TO ALL EMPLOYEES & SUBCONTRACTORS REGARDING THE CONST. BMPs.

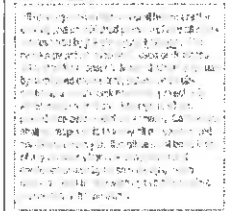
### SITE PLAN NOTES & CALCs

- ALL SURFACE DRAINAGE IS EXISTING TO REMAIN U.O.N.
- ALL DOWNSPOUTS SHALL BE HARD PIPED TO TERMINATE CITY STORM DRAIN SYSTEM AS NOTED ON SITE PLAN AND INDICATED IN EXTERIOR ELEVATIONS GRAPHICALLY.
- PROVIDE POSITIVE (2%) SLOPE FROM ALL STRUCTURES WHERE (E)GRADING IS BEING ALTERED. NO FINAL GRADING IS TO INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.  
MIN 2% = DRAINAGE AT 1/4" PER 12" MIN. (TYP U.O.N.)
- PROVIDE IRRIGATION BUBBLERS TO EACH TREE SITE IN THE PLANTER STRIP WHERE APPLICABLE. TREES SHOWN ARE PROPOSED WITH APPROXIMATE LOCATIONS.
- CALCULATIONS  
GRADING, CUT & FILL ESTIMATES:  
WORKSHOP: 20% of 34 ft. = 7.04 cu ft. (291 cu yds/cut)  
GARAGE: 302 of 22 ft. = 6644 cu ft. (246 cu yds/cut)  
DRIVEWAY: 152 of 22 ft. = 3344 cu ft. (124 cu yds/cut)  
(FILLS NEGUGABLE)  
STORMWATER CALCULATIONS (INCLUDING DEGES):  
Q=CIA= 0.942, 940.04 (1753sf) = 0.10 cfs; 64.444 = 44.90 gpm



1 SITE PLAN w/GRADING & DRAINAGE  
SCALE: 1/8"=1'-0"

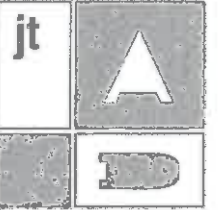
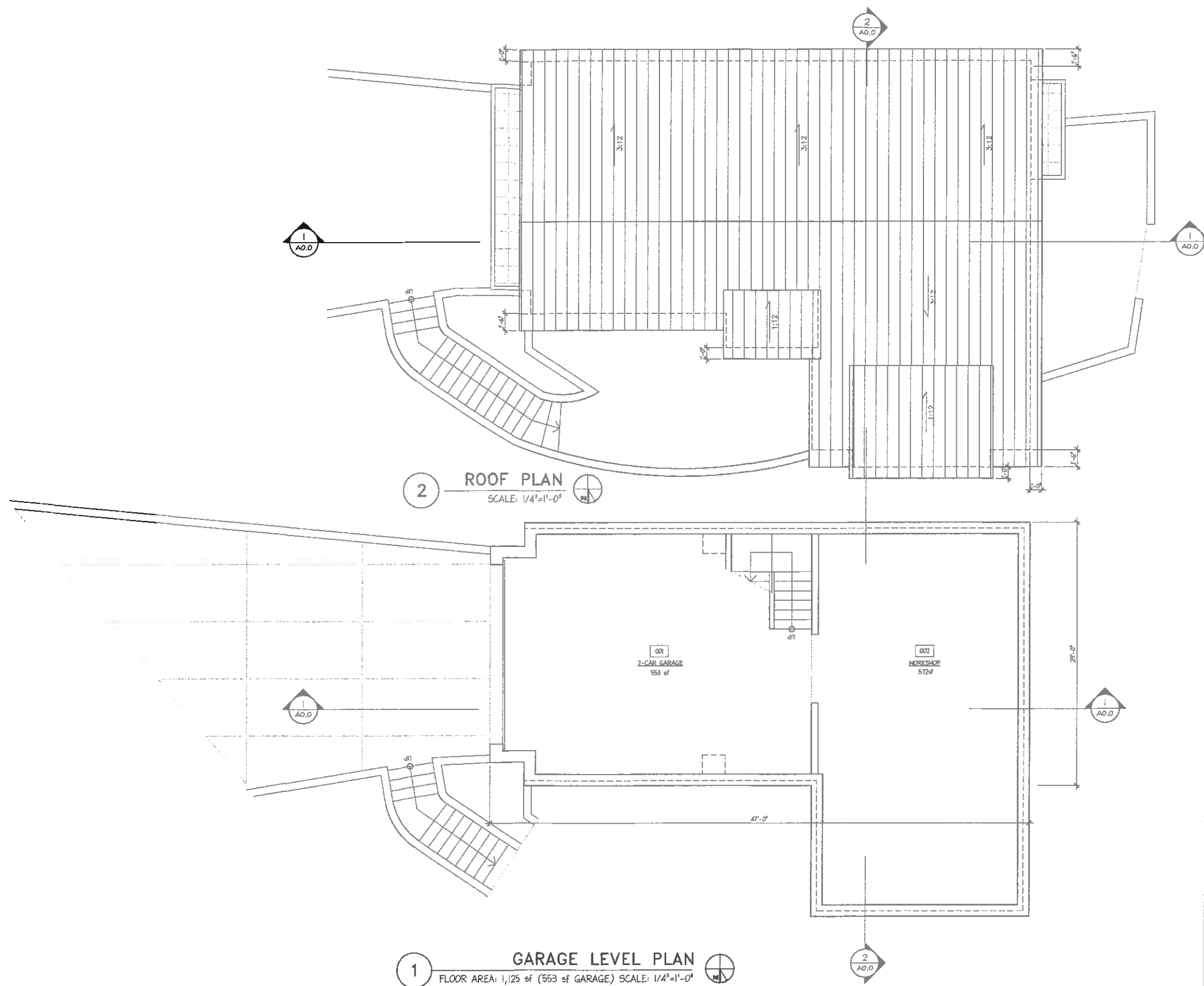
2 CROSS-SECTION DIAGRAMS  
SCALE: 1/8"=1'-0"



2 2ND FLOOR PLAN (BEDROOMS)   
FLOOR AREA: 1,077 sf SCALE: 1/4"=1'-0"

1 1ST FLOOR PLAN (MAIN) FLOOR AREA: 1,120 sf SCALE: 1/4" = 1'-0"

[illegible]



Architectural drawings are prepared by the architect and are not to be used for construction without the architect's approval. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project.



COMMENTS

REVISIONS	No.	Description	Date
1	1	GRADING PERMIT SUBMIT	04/22/15
2	2	GRADING PERMIT REV1	04/28/15
3	3	GRADING PERMIT REV2	05/11/15
4	4		
5	5		
6	6		
7	7		
8	8		
9	9		
10	10		

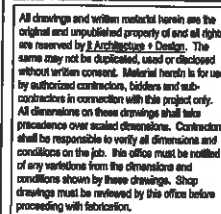
PROJECT  
BOUCHARD RESIDENCE  
(New Construction)  
326 Humboldt Road  
Berthoud, CA 94005

DATE  
GARAGE LEVEL PLAN  
& ROOF PLAN

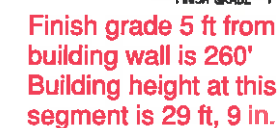
NO. 2013.12  
DESIGN BY JMT  
SC 1/4"=1'-0"  
DATE 04-22-15

A1.2

G.1.15



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

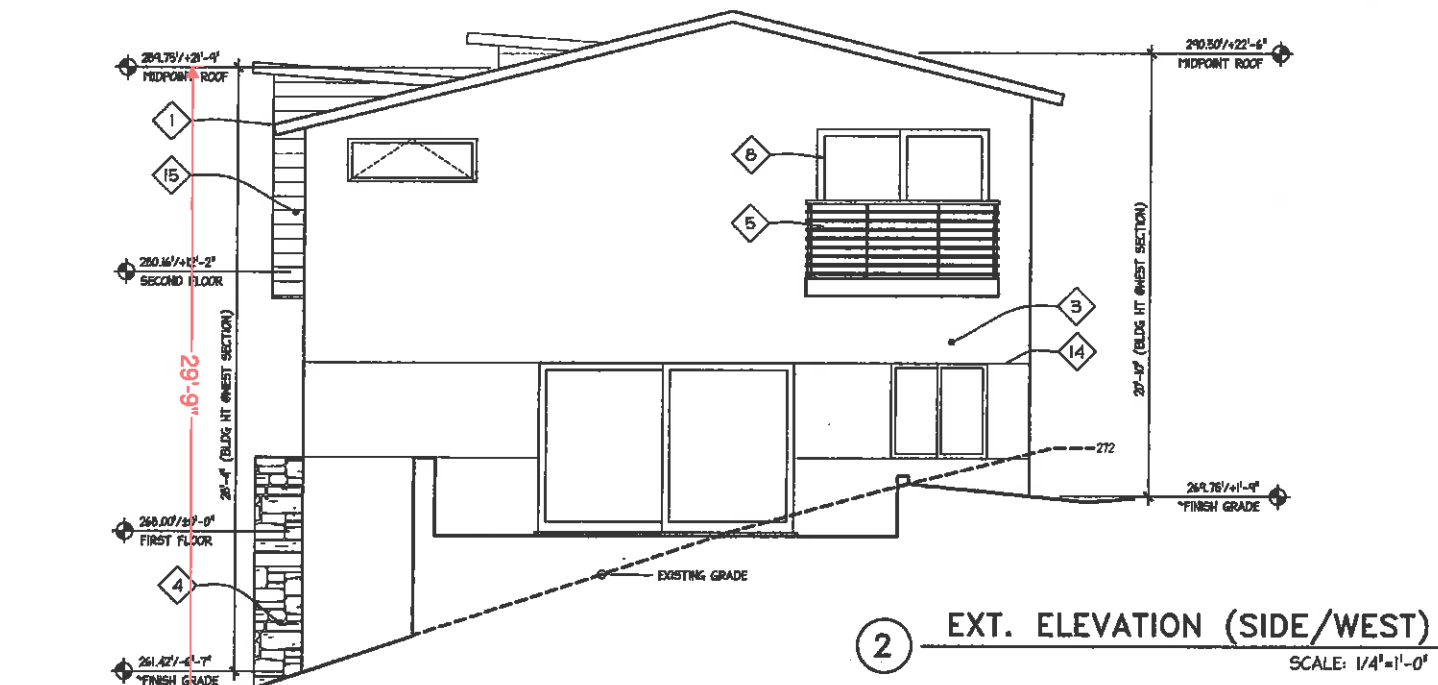
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## EXTERIOR ELEVATIONS

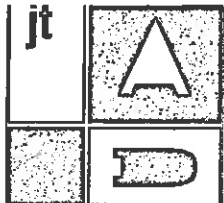
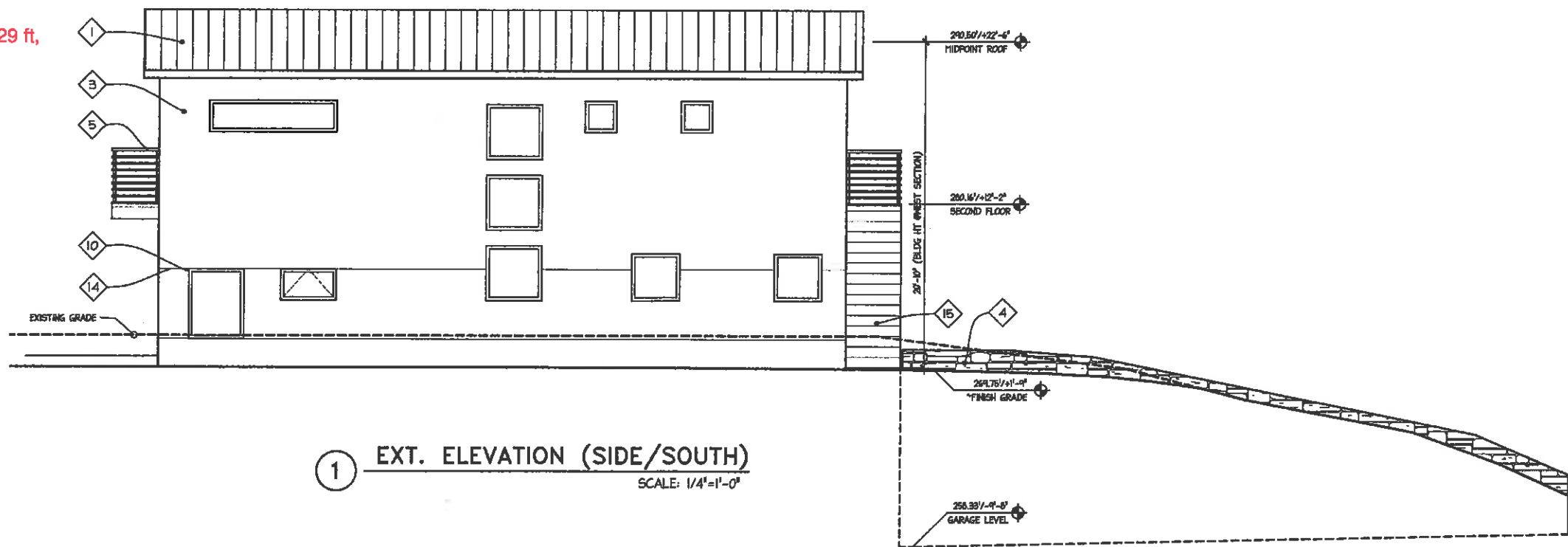
NO:	2013.12
DRAWN BY:	JWT
SC:	1/4"=1'-0"
DATE:	04-22-15

A3.1

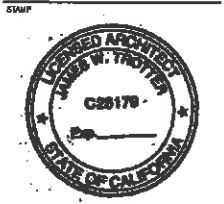




EXTERIOR ELEVATION NOTES			
1	STANDING SEAM METAL ROOF (16' PANELS, COLOR TBD)	10	ANODIZED ALUM. WINDOWS, RECESSED/NO TRIM; METALLIC COLOR TBD
2	PAINTED HEAVY GA GALVANIZED EDGE / GUTTER / DOWNSPOUT (ALT. COPPER)	11	CAPSTONE (CULTURED STONE OR SIM)
3	INTEGRAL COLOR STUCCO (COLOR TBD BY OWNER)	12	TYP. EXTERIOR WALL SCONCE (TIMED W/SONAR CONTROLS U.O.M. IN PLANS)
4	STONE VENEER (CULTURED STONE OR SIM)	13	BRONZE NUMERALS
5	CLEAR COATED IPA or CEDAR CAP RAIL; STEEL CHANNEL & BAR RAILING	14	CLEAR ANODIZED ALUM. REVEAL(S), MIN 1/2" WIDTH
6	HORIZ. PLANKS OR SLATS FOR SCREENING; HARDWOOD SPECIES TBD	15	FIBER-CEMENTITIOUS LAP SIDING (SMOOTH) WITH FILTERED CORNERS, JAMES HARDIE ARTISAN LINE OR SIM; ALT: VARNISHED CEDAR PLAN SIDING
7	PAINTED FASCO BOARD, SMOOTH FINISH/NO GRAIN	16	FIBER-CEMENTITIOUS PANELS (VERTICAL CLADDING, SMOOTH), JAMES HARDIE LINE OR SIM; ALT: HARDWOOD VENEER
8	ALUM. CLAD FRENCH SLIDING DOORS AND/OR FRENCH PATIO DOORS	17	NOT USED
9	ALUM. CLAD FRENCH DOOR W/RIBBED GLAZING PANEL TBD BY OWNER	18	NOT USED



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CONTRACT

REVISIONS	No.	Description	Date
△	1	GRADING PERTYT SUBMIT	04/22/15
△	2	GRADING PERTYT REVM	04/25/15
△	3	GRADING PERTYT REVR2	05/15/15
△	4		
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△	18		

PROJECT  
BOUCHARD RESIDENCE  
(New Construction)  
338 Humboldt Road  
Brisbane, CA 94005

COVERS  
EXTERIOR ELEVATIONS

REV	2013.12
DESIGNED BY	JWT
SCALE	1/4"=1'-0"
DATE	04-22-15

A3.2

6.1.17

SUPPORTING STATEMENTS**FINDINGS REQUIRED TO GRANT A VARIANCE**

Brisbane Municipal Code Section 17.46.010

Applications for variances from the strict application of the terms of this title may be made and variances granted when the following circumstances are found to apply:

A. That any variance granted shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.

B. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

What special circumstances, such as size, shape or topography of the property, or its location or surroundings, apply to your site?

The lot is pie shaped with the majority of the site much higher than the road it fronts. The calculated average grade of 17% doesn't reflect the actual grade where the variance is being requested/required.

How do these special circumstances impact your site when the Zoning Ordinance is applied to the site?

As noted above, the height of the proposed structure at the one end of the house exceeds the height limit for grades less than 20%, though the rest of the structure remains below the height limit.

What privileges enjoyed by other properties in the vicinity and same zoning district would you be deprived of when the Zoning Ordinance is applied to your site, given its special circumstances?

Because of the topography, more land would be excavated at the driveway would be below the road elevation at entry in order to meet the height limit of 28'-0". Other properties enjoy 30' or height limit where the grade exceeds

What conditions of approval could be attached to the variance to assure that you comply with the intent of the Zoning Ordinance and other applicable regulations?

That the remainder of the house meets the height requirements and that on average all sides of the house are below the height limit based on the median grade cited. The adjacent neighbors the side facing the adjacent neighbors property is substantially lower than the height limit.

20% at the location of this portion of the structure exceeds 20%.